

## *A client's guide to Webster Architects*

A step by step guide through the design process and development of your new home: What to expect, what decisions you will need to make and when to make them and how best to work with us .

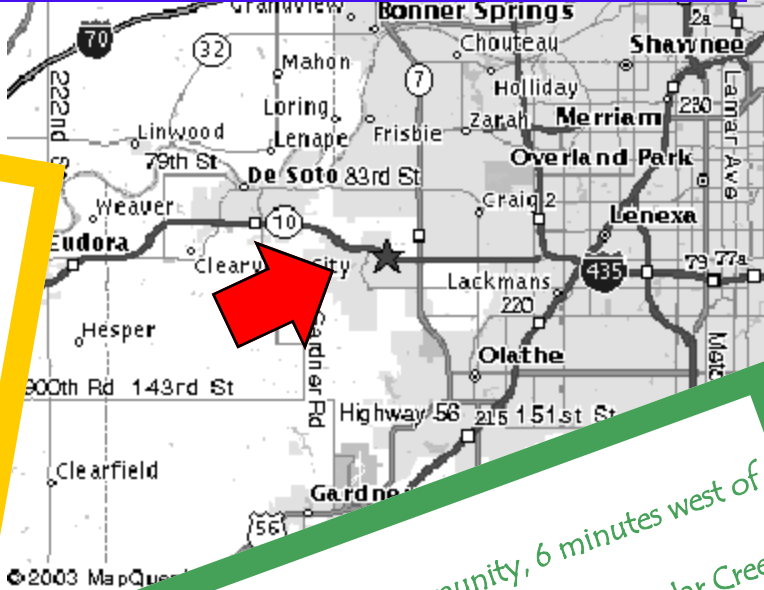




*How to reach us*

*Webster Architects,  
Inc.*

25055 W. Valley Parkway, Suite 110  
 Olathe, KS 66061  
 Tel: 913-390-4663  
 Toll Free: 1-888-432-2175  
 Fax: 913-390-4664  
[websterarchitects.com](http://websterarchitects.com)



*Where are we?*

**DIRECTIONS**

*Webster Architects is located in the Cedar Creek Community, 6 minutes west of I-35 and I-435 off of K-10 Highway. From I-35 take I-435 West to the K-10 exit. Take K-10 west to the Cedar Creek Parkway exit. Go Left (south) on Cedar Creek Parkway to the first intersection. Turn left (east) on W. Valley Parkway. Go to 25055 W. Valley Parkway. The building will be on your right. (South side of the street). Our office is located in Suite 110. From the lobby, take the first hallway to your right.*

# Getting Started

This is the time to gather all the information you have, whether it is a box load you've been accumulating for years or a coffee stained napkin from Starbucks with notes jotted down.

1 Gather your stuff



## What to bring

- Magazine clippings
- plans
- budget goals
- list of rooms or spaces & preferred sizes
- notes
- lot information
- checkbook for deposit
- photos
- subdivision requirements
- List of what you like or don't like about your current home
- all the above
- some of the above

the internet is a great place to research  
[websterarchitects.com](http://websterarchitects.com)  
we have several hundred plans on-line

2 Make appointment  
913-390-4663



Turn the page to see what to expect at the first meeting

## Our first meeting

is our programming meeting. This is our opportunity to get to know you. **You** will arm **us** with all the information we will need to start your design.

### We will discuss.....

- Budget
- Square Footage Goal
- Plan Type
  - Two story
  - 1 1/2 story
  - one story
  - Reverse story & half
- Architectural Style
- your lifestyle
- site information
- house orientation
- room desires
- room sizes
- garage size
- materials
- what ever you feel we need to know
- Architectural Services Agreement



**Our first meeting usually takes 60-90 minutes**

*You'll fill out a short form.*

#### *about you*

Name • Address • phone #  
fax numbers • e-mail address

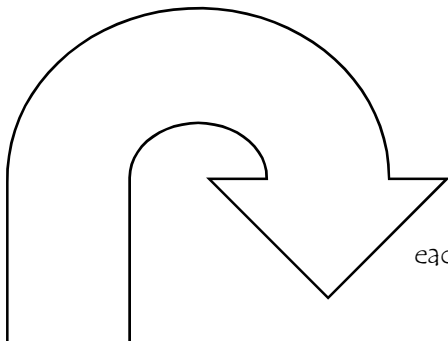
#### *your lot*

Lot information (if you have one)  
subdivision  
street address & city

#### *builder*

Builder information  
(if you have decided on one)

*We will answer the important questions,  
"When can we have our plans?" and "How much?"*



We will discuss the time line for your project - look for it on each page to track your progress.

**We will collect a deposit before we start work.**

### TIME LINE

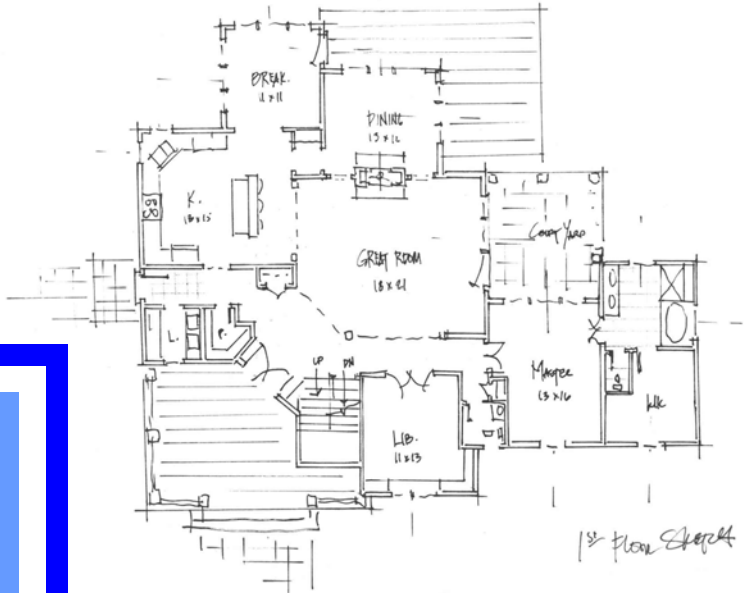
waiting list		schematic design		design development		construction documents	
week 1	week 2	week 3	week 4	week 5	week 6	week 7	week 8







# 2nd meeting schematic design



### Sketch will include:

- room layout
- room names
- room size
- ball park square footage
- may have options to consider

### What to expect

We always start with a *black & white rough freehand sketch*. This is our quickest way to Brainstorm and present our ideas to you.

We often spend *hours* "playing" with many different options. We will present the *one* plan we recommend.

The average first floor design goes through 2-3 designs



*first* We will discuss the plan and get all your feedback. *Next* You can take the plan home and think about it some more. *Then* We will do a revised sketch based on all your comments. *Finally* We will do this until the plan has everything you need where you need it.

TIME LINE							
waiting list		schematic design		design development		construction documents	
week 1	week 2	week 3	week 4	week 5	week 6	week 7	week 8

# What to concentrate on at this stage

We are *looking at the big picture*. We are

**You**

- room sizes
- room locations
- # baths
- # bedroom
- layout of "living" space
- Layout of "dining" space
- layout of kitchen
- formal plan / casual
- open plan / traditional

wondering if we are headed in the right direction. *Have we included all the rooms you wanted?* Are we capturing the best view? *What is the first thing you see when you walk in the front door?* Are the rooms the right size and shape? *Do we have the right # of bedrooms - how about bathrooms? Do we have a place for your dog kennel or your antique grandfather clock? Where will your furniture go?* At this point don't worry about the small stuff like where your oven will go, if the kitchen is not even close to what you would like.

**Us**

- view
- path
- scale
- entry
- .....all that architectural stuff

Every stage is important, this perhaps the most. We will take our time and get it right. If the plan works, everything else will fall into place.

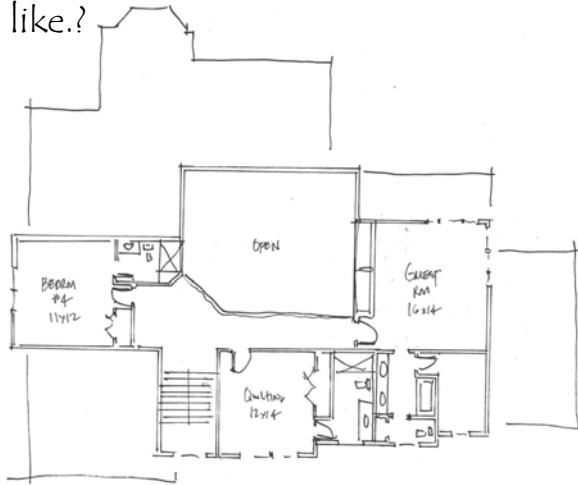
TIME LINE							
waiting list		schematic design		design development		construction documents	
week 1	week 2	week 3	week 4	week 5	week 6	week 7	week 8



## What to expect

1. The second floor and/or lower level design will take the same evolution as the first floor

2. After we are comfortable with the design of the floor plans the project takes an exciting turn, What is your home going to look like.?



### 3rd meeting more sketches

After the first floor we will design the 2nd floor and / or the lower level.

Then we will look at the front elevation

Do you see yourself using a front porch, deck, screen porch covered veranda, patio?

Have you decided on an architectural style for the elevation?

Be thinking about your fireplaces:  
gas or woodburning?

Any interesting ceiling types?  
Coffered  
boxed  
trayed  
vaulted  
flat  
barreled

### TIME LINE

waiting list		schematic design		design development		construction documents	
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Before we move to the next phase.....

We will collect a progress payment at the end of this stage.

These decisions must be made....



Front Sketch

- exterior walls
  - 2 x 4 or 2 x 6
- exterior finish
- roofing material
- floor framing
- roof framing
- window type
- floor heights
- foundation wall height
- garage door height
- grade
  - day-light, walk-out or full basement

Does every stage need a meeting?

**Absolutely not!**

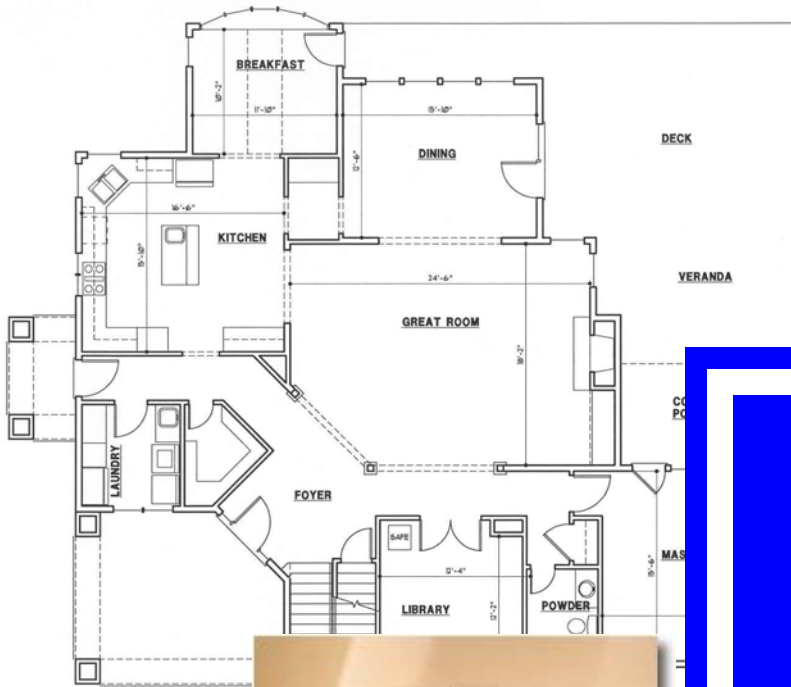
After we get started we use many different forms of communication. Faxing sketches back and forth works great for many people, we also use e-mail, phone calls, delivery services, mail.... What ever works best for you.



The average front elevation design goes through 1-2 designs

TIME LINE							
waiting list		schematic design		design development		construction documents	
week 1	week 2	week 3	week 4	week 5	week 6	week 7	week 8





# Design Development

We block out the plans on the computer

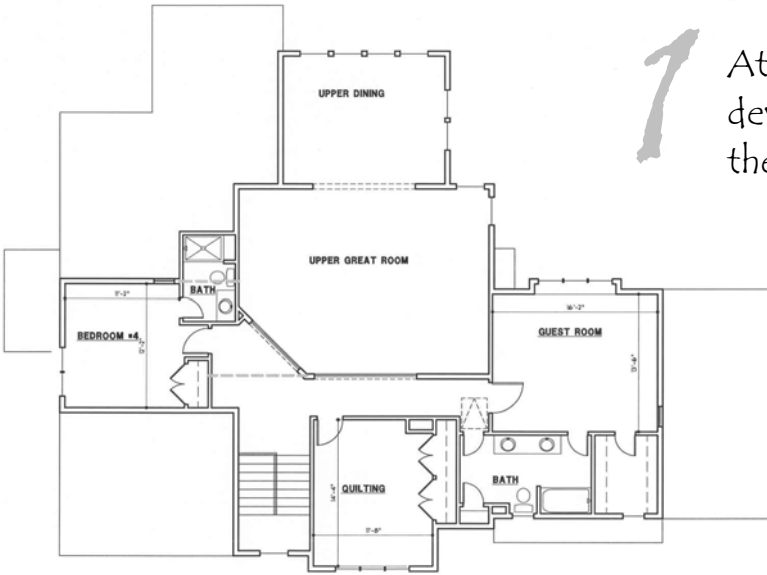
*First* We will block out the floor plans on the computer. *Next* You will review the plans. *Then* We will do a revised plan as per your comments *Finally* once all the changes have been made, we will block out floor plans, basement plan, roof plan and 4 elevations.



*On average, we devote a few weeks to this process.*

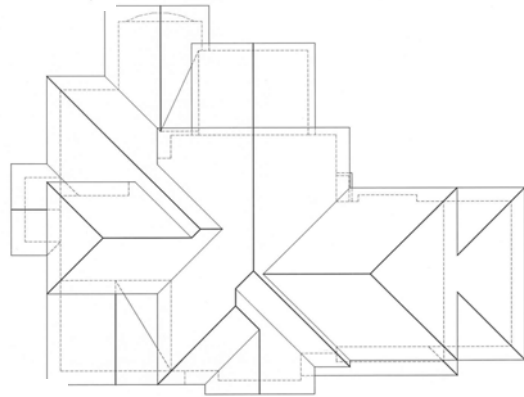
- ♦ the *floor plans* at this stage will show all the rooms drawn to scale with the room dimensions shown. All the windows and doors will be sized. Ceiling heights and types will be called out.
- ♦ The *roof plan* will be blocked out, but will not be detailed
- ♦ the *Elevations* will be blocked out to show the form, windows and doors. Also wall heights will be indicated.

TIME LINE							
waiting list		schematic design		design development		construction documents	
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1 At the end of design development you will review all the plans at 1/4"=1'-0" scale

2 you will review the roof plan blocked out at 1/4"=1'-0" scale



ROOF PLAN

3 you will review all four elevations at 1/4"=1'-0"



We will collect a progress payment at the end of this stage.

By the end of this phase we will have addressed and resolved all the design issues. At design development's end, you will see the plan in it's entirety and be prepared to give us the approval to do the construction drawings.

TIME LINE							
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# Construction Drawings

You get to take a break and leave the work to us.

*finalizing your plans.*

*We will be:*

- dimensioning floor plans & foundation
- sizing the structure
- detailed the materials
- adding notes
- meeting the city requirements
- energy calculations (if applicable)
- engineering calculations (if applicable)

How many sets of prints do you need?

*Following you will find a sample set of completed plans*

*A "Builder's Set" of plans will include:*

- 4 exterior elevations
- foundation plan
- floor plans
- roof plan
- notes & details

We will call you when we are finished. At this time you will get one last time to review the plans

*Almost there*

## TIME LINE

waiting list		schematic design		design development		construction documents	
week 1	week 2	week 3	week 4	week 5	week 6	week 7	week 8



CONTRACT NO. 100-1000-000  
PROJECT NO. 100-1000-000  
DATE: 10/10/10  
SCALE: 1/8" = 1'-0"  
SHEET NO. 100-1000-000



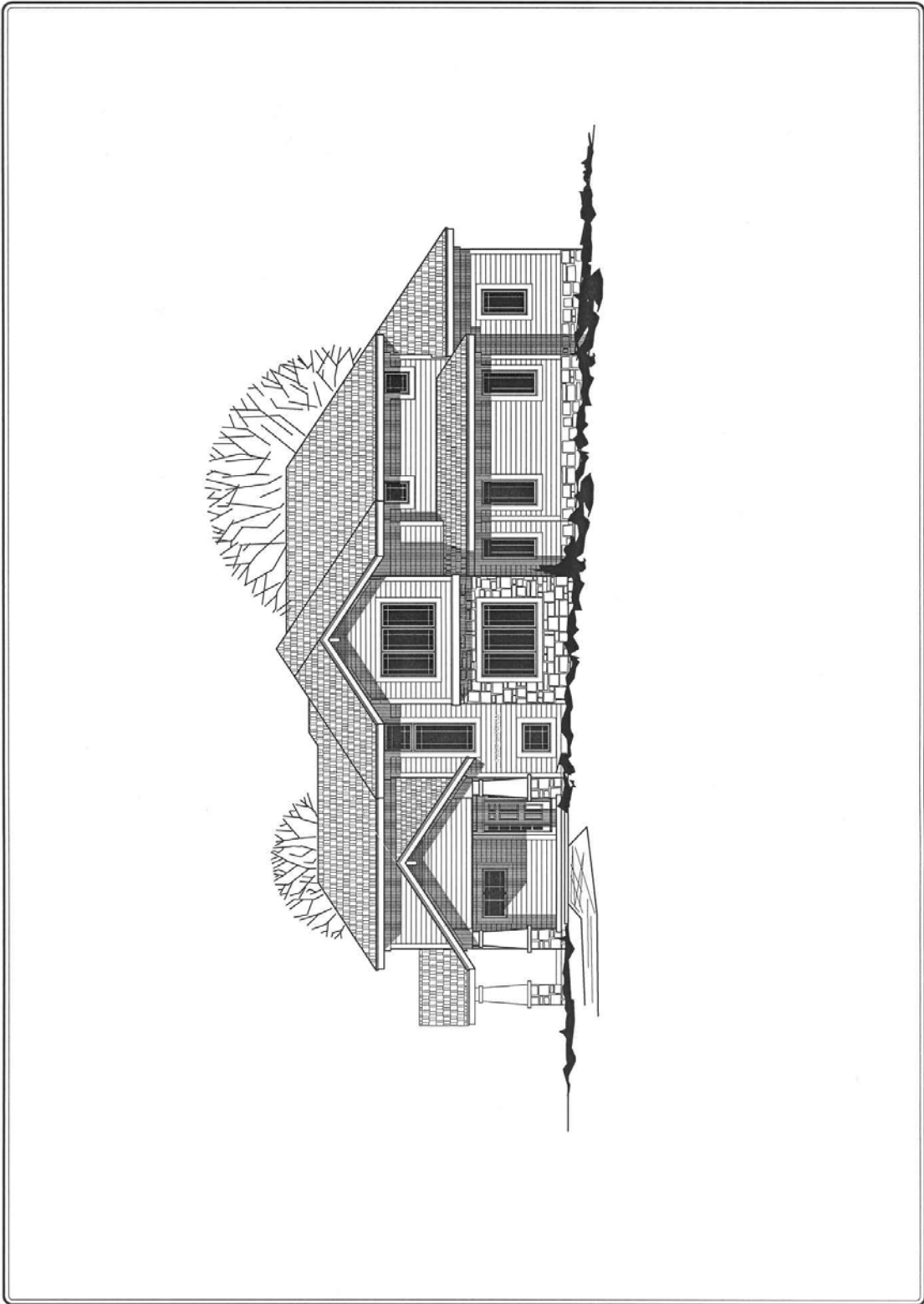
NO. 100-1000-000

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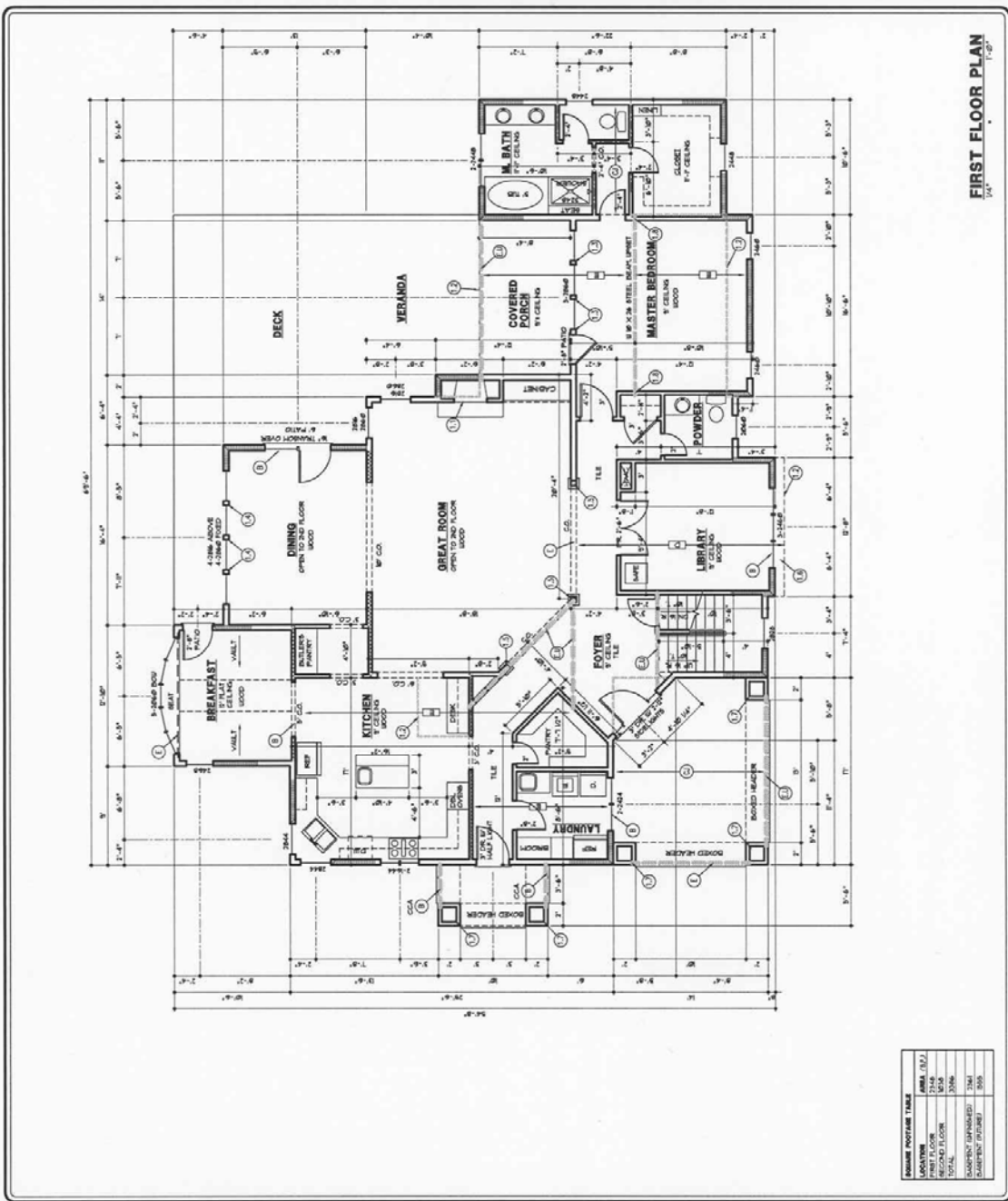
NO. 100-1000-000

NO. 100-1000-000

SHEET NO. **A0**







**FIRST FLOOR PLAN**  
 1/4" = 1'-0"

SUMMARY TABLE	
LOCATION	AREA (SQ. FT.)
FIRST FLOOR	2744
SECOND FLOOR	2300
TOTAL	5044
EXCESSIVE DIMENSIONS	2300
EXCESSIVE DIMENSIONS	2300

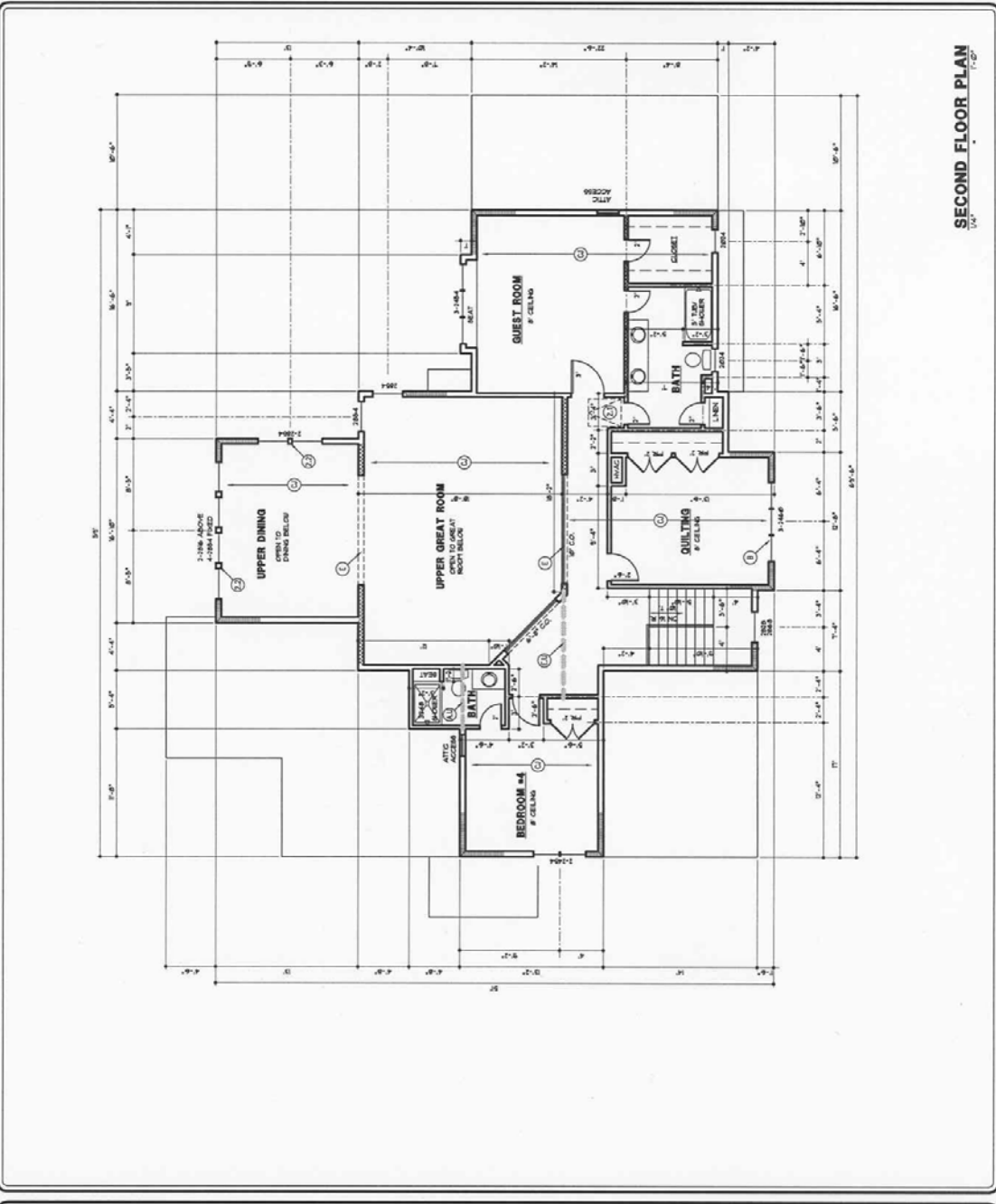
**GENERAL NOTES**  
 1. REFER TO ALL NOTES ON SHEETS 101-102.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
 4. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.  
 5. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 6. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 7. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 8. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 9. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 10. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.

**FRAMING NOTES - FLOORS**  
 1. FLOOR JOINTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
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 4. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
 5. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.

**FRAMING NOTES - WALLS**  
 1. ALL WALLS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.  
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 5. ALL JOINTS SHALL BE PROTECTED WITH AN APPROPRIATE JOINT PROTECTANT.

**FLOOR PLAN - SYMBOL LEGEND**  
 1. 1/2" TYPICAL  
 2. 1/2" TYPICAL  
 3. 1/2" TYPICAL  
 4. 1/2" TYPICAL  
 5. 1/2" TYPICAL  
 6. 1/2" TYPICAL  
 7. 1/2" TYPICAL  
 8. 1/2" TYPICAL  
 9. 1/2" TYPICAL  
 10. 1/2" TYPICAL

**FIRST FLOOR - PLAN NOTES**  
 1. EXTERIOR WALLS TO BE 16" STEEL I BEAM.  
 2. 1/2" TYPICAL  
 3. 1/2" TYPICAL  
 4. 1/2" TYPICAL  
 5. 1/2" TYPICAL  
 6. 1/2" TYPICAL  
 7. 1/2" TYPICAL  
 8. 1/2" TYPICAL  
 9. 1/2" TYPICAL  
 10. 1/2" TYPICAL



**SECOND FLOOR PLAN**  
 1/4" = 1'-0"

**BRACED WALL FRAMING**  
 SEE DETAILS AND PLAN.  
 1. INTERNAL 2x4 JOIST CONTINUOUS DIAGONAL BRACERS SHALL BE INSTALLED AT THE END OF EACH WALL LINE TO PROVIDE LATERAL SUPPORT TO THE JOIST AND TO PREVENT THE WALL FROM MOVING OUT OF PLUMB DURING CONSTRUCTION.  
 2. THE BRACERS SHALL BE ATTACHED TO THE EXTERIOR WALL FACE AND TO THE JOIST END OF EACH JOIST.  
 3. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 4. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 5. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 6. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 7. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 8. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 9. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.  
 10. BRACING SHALL BE INSTALLED AT 6'-0" ON CENTER ALONG THE ENTIRE LENGTH OF EACH WALL.

**CYLINDRICAL FRAMING**  
 1. THE FRAMING SHALL BE AS SHOWN ON THE PLAN.  
 2. THE FRAMING SHALL BE AS SHOWN ON THE PLAN.  
 3. THE FRAMING SHALL BE AS SHOWN ON THE PLAN.

**CEILING FRAMING**  
 1. THE CEILING FRAMING SHALL BE AS SHOWN ON THE PLAN.  
 2. THE CEILING FRAMING SHALL BE AS SHOWN ON THE PLAN.  
 3. THE CEILING FRAMING SHALL BE AS SHOWN ON THE PLAN.

**WALLING TABLE**

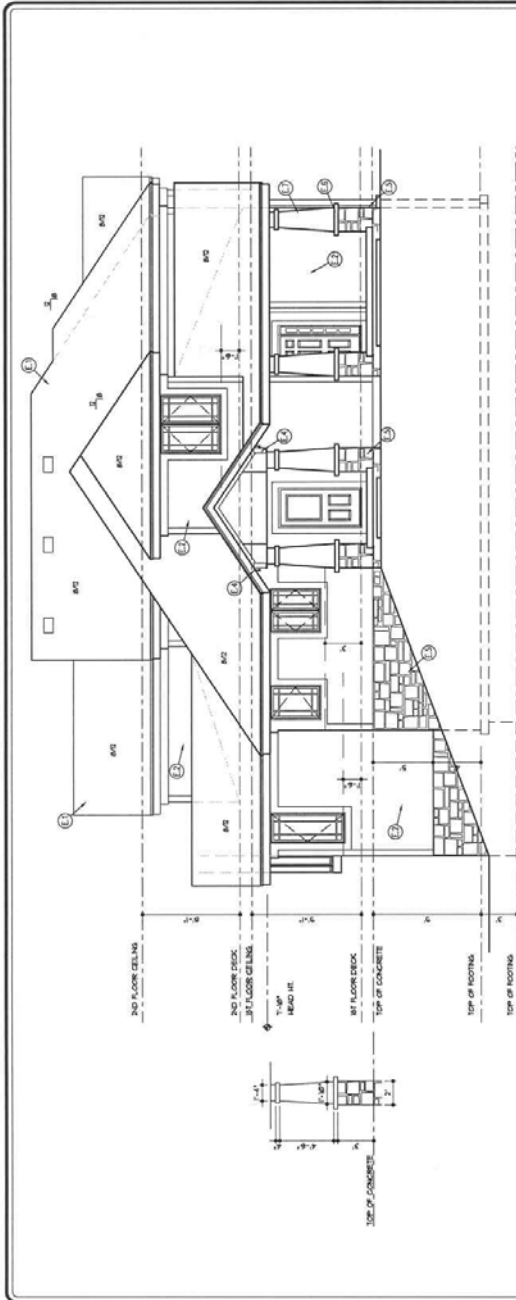
WALL TYPE	CONSTRUCTION	FINISH
1	12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
2	8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
3	12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
4	8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
5	12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
6	8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
7	12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
8	8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
9	12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER
10	8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD	BRICK VENEER

**SECOND FLOOR - PLAN NOTES**

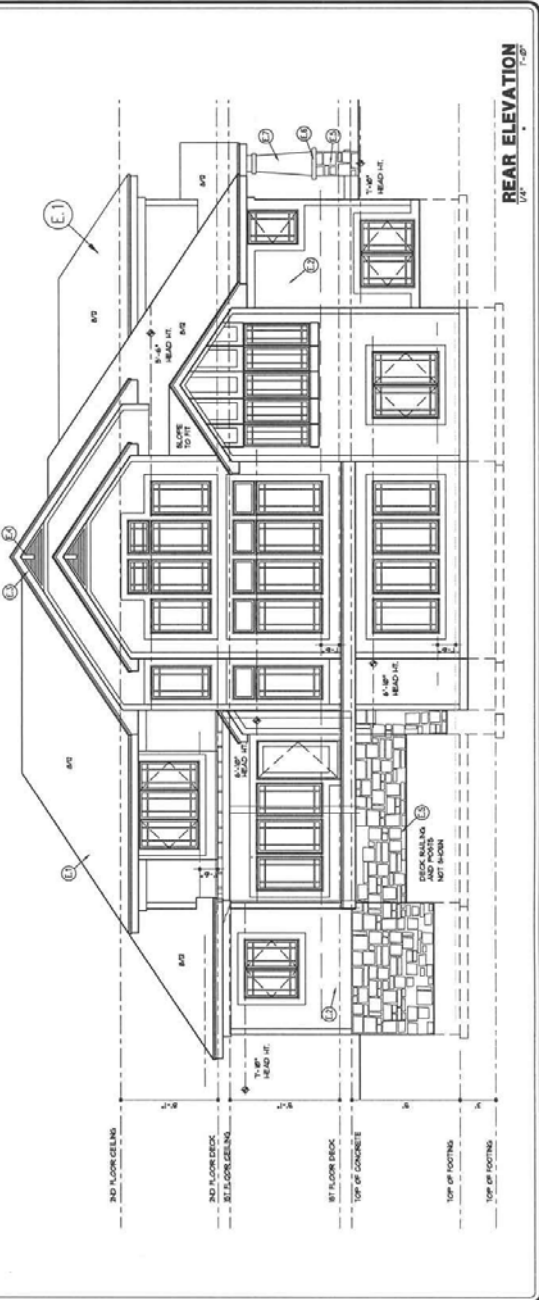
- 1. INTERIOR WALLS TO BE 8" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD.
- 2. EXTERIOR WALLS TO BE 12" CMU WITH EXTERIOR BRICK VENEER AND INTERIOR GYPSUM BOARD.
- 3. 7'-0" x 7'-0" ATTIC ACCESS DOUBLE CEILING JOIST AREA FOR AN AREA UP AROUND THE HATCH P P FRAME ARE TO BE 2x4 BRACED TO EXISTING WALL.
- 4. STUDS BETWEEN BEAMS.







LEFT SIDE ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"

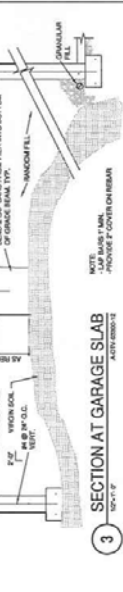
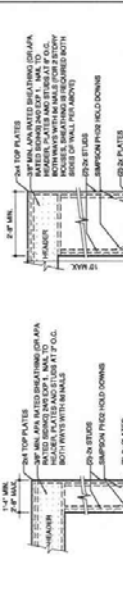
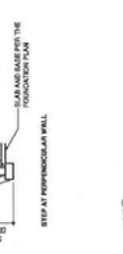
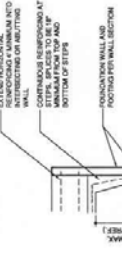
**ELEVATION NOTES**  
 \* UNLESS NOTED OTHERWISE  
 UNLESS NOTED OTHERWISE  
 E1 ROOFING TO BE BRICK SHINGLES ON 1/2" PLY, ON DOUBLE  
 1X4 SPACED BRACING ON 1X4 SPACED BRACING  
 E2 BRICK CHIMNEY TO BE BRICK, MATCHING EXISTING  
 SECTION WITH 1" JOINTS  
 E3 GABLE VENT  
 E4 BRICK BRACKET  
 E5 VOLUMED STONE OR EQUAL  
 E6 BRICK BRACKET  
 E7 IMPREGED COLUMN PAPER PER





SECTION NUMBER	DESCRIPTION	CODE REFERENCE	ALTERNATE LOCATIONS	MINIMUM WALL THICKNESS	ANCHOR THICKNESS	ANCHOR SPACING	FASTENERS	COMMENTS
1	1/4" LET IN BRACING	2008 IRC S610.1.1	FIRST STORY OF TWO STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
2	METAL STUDS TO FORM "C" JOINTS (SEE SHEET 1.1)	2008 IRC S610.1.1	2ND STORY WITH MAXIMUM WALL HEIGHT EXCEEDING 10 FEET	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
3	WOOD STRUCTURAL FRAMES (2X4 OR 2X6)	2008 IRC S610.1.1	1ST AND 2ND STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
4	WOOD STRUCTURAL FRAMES (2X4 OR 2X6)	2008 IRC S610.1.1	1ST AND 2ND STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
5	EXTERIOR FINISH	2008 IRC S610.1.1	1ST AND 2ND STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
6	EXTERIOR FINISH	2008 IRC S610.1.1	1ST AND 2ND STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.
7	EXTERIOR FINISH	2008 IRC S610.1.1	1ST AND 2ND STORY	AS REQUIRED TO ALLOW BRACING TO BE INSTALLED AND TO BE EFFECTIVE. SEE SECTION 1.1 FOR DETAILS.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	LETTER IDENTIFIED AND IDENTIFICATION NUMBER SHALL BE PROVIDED FOR EACH ANCHOR. ANCHORS SHALL BE INSTALLED WITH 1/4" X 1/4" X 1/4" ANCHORS.

WALL TYPE	MINIMUM WALL THICKNESS	ANCHOR THICKNESS	ANCHOR SPACING	FASTENERS	COMMENTS
1. PERPENDICULAR WALL	4" MIN.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	SEE SECTION 1.1 FOR DETAILS.
2. PARALLEL WALL	4" MIN.	1/4"	12" ON CENTER	1/4" X 1/4" X 1/4" ANCHORS	SEE SECTION 1.1 FOR DETAILS.





Soon after your plans are complete, you will be watching your home take shape.

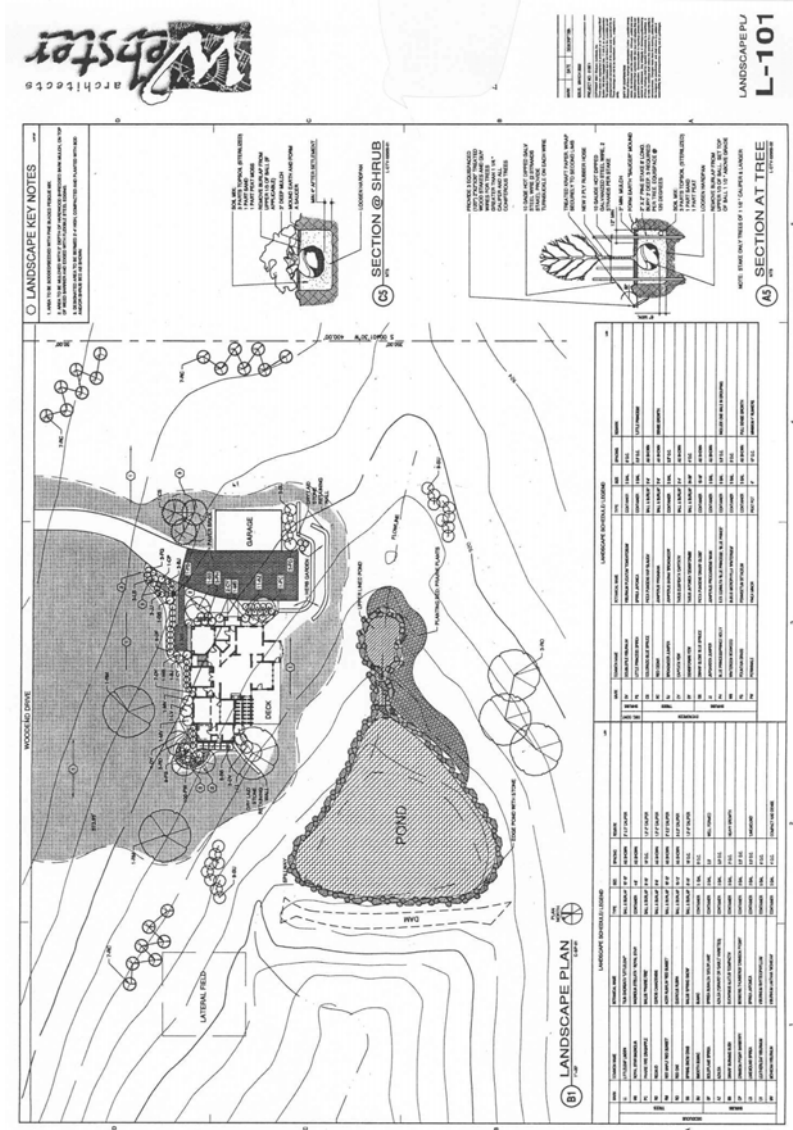


*Optional Services*

We offer to make Field Visits per your request - see the Agreement for Architectural Services for pricing.







*Don't forget we offer....*

